

EXPLANATORY NOTE

BY-LAW NO.

A By-law to amend By-law 304-87, as amended

**Wynberry Developments Inc.  
Part of Lot 17, Concession 7**

The proposed by-law amendment applies to a 0.773 ha. (1.91 acre) parcel of land located on the south side of Monkhouse Road, east of Spencer Avenue within the Wismer Commons community.

The lands are presently zoned Rural Residential (RR4) by By-law 304-87, as amended.

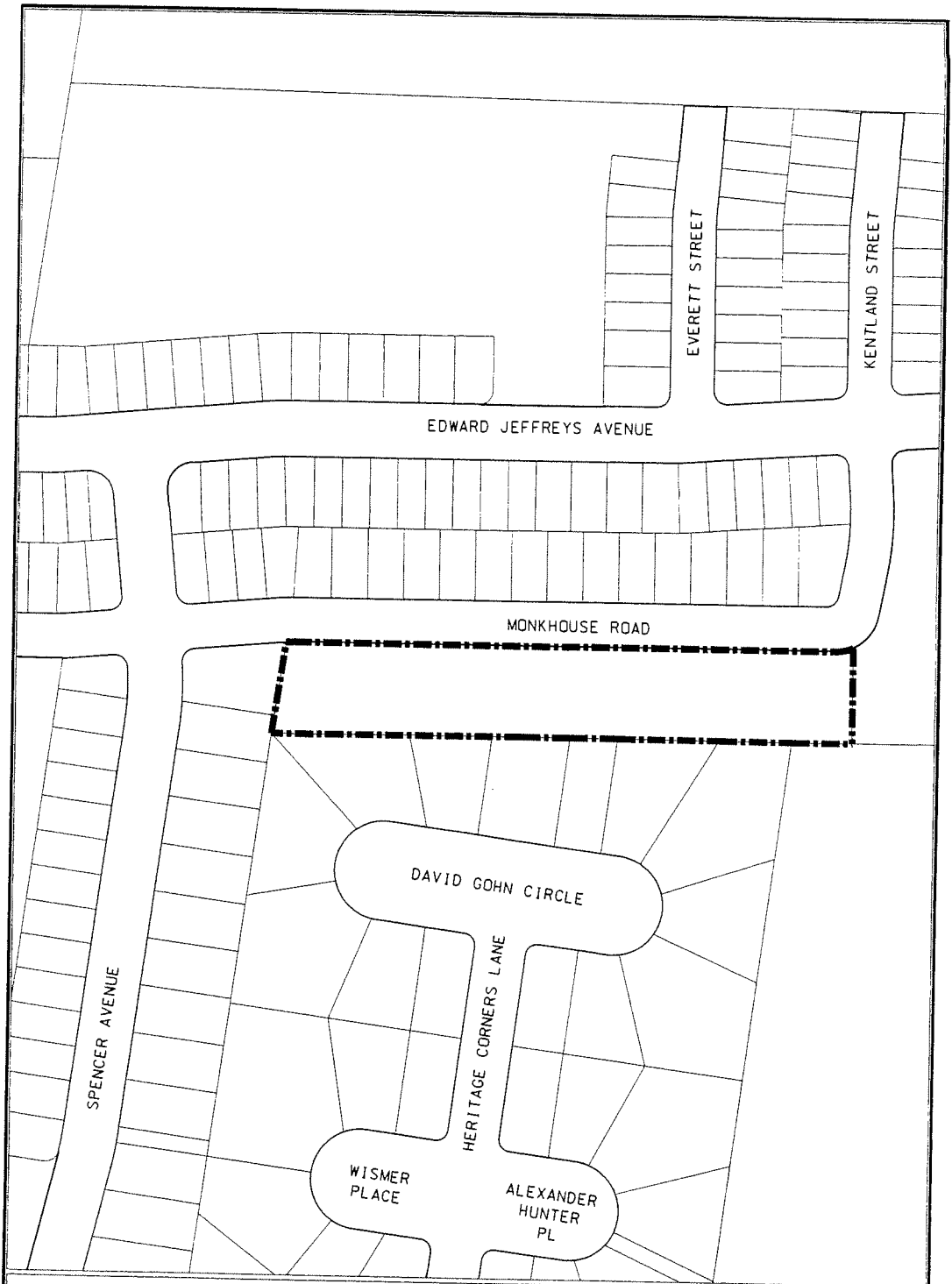
The purpose and effect of the by-law amendment is to delete the lands from the designated area of By-law 304-87.

A by-law to amend Rural Area Zoning By-law 304-87, as amended  
*(To delete lands from the designated area of this By-law)*

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THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM  
HEREBY ENACTS AS FOLLOWS:

1. THAT By-law 304-87, as amended, is hereby further amended by deleting the lands in Lot 17, Concession 7, as shown on Schedule 'A' attached hereto, from the designated area of By-law 304-87, as amended.
2. This by-law shall not come into effect until By-law ~~XXXXX~~ amending By-law 177-96, as amended comes into effect and the lands, as shown on Schedule 'A' attached hereto, become incorporated into the designated area of By-law 177-96, as amended.
3. All other provisions of By-law 304-87, as amended, not inconsistent with the provisions of this by-law shall continue to apply



# A BY-LAW TO AMEND BY-LAW 304-87



BOUNDARY OF AREA COVERED BY THIS BY-LAW



THIS IS SCHEDULE 'A' TO BY-LAW .....  
PASSED THIS ..... DAY .....,

.....MAYOR

.....CLERK

NOTE: 1) DIMENSIONS ARE IN METRES  
2) REFERENCE SHOULD BE MADE TO  
THE ORIGINAL BY-LAW LODGED IN  
THE OFFICE OF THE CLERK

SCALE 1: 2000

## EXPLANATORY NOTE

### BY-LAW NO.

A By-law to amend By-law 177-96, as amended

### **Wynberry Developments Inc.**

### **Part of Lot 17, Concession 7**

The proposed by-law amendment applies to a 0.773 ha. (1.91 acre) parcel of land located on the south side of Monkhouse Road, east of Spencer Avenue within the Wismer Commons community.

The lands are presently zoned Rural Residential (RR4) by By-law 304-87, as amended.

The purpose of the by-law amendment is to incorporate the lands into the designated area of By-law 177-96, and zone them Single detached Residential (R1-F18\*308) Zone.

The effect of the by-law amendment will be to permit the lands to be developed for single detached residential purposes.

A by-law to amend Urban Expansion Area  
Zoning By-law 177-96, as amended  
(To incorporate lands into the designated area of this By-law)

THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM  
HEREBY ENACTS AS FOLLOWS:

1. THAT By-law 177-96, as amended, is hereby further amended as follows:
  - 1.1 By expanding the designated area of By-law 177-96 to include the lands in Lot 17, Concession 7, as shown on Schedule 'A' attached hereto.

- 1.2 By zoning the lands

Single detached Residential (R1-F18\*308) Zone

as shown on Schedule 'A' attached hereto.

- 1.3 By adding the following Subsection 7.308 to Section 7 – EXCEPTIONS:

**“7.308 WYNBERRY DEVELOPMENTS INC., WISMER COMMONS**

Notwithstanding any other provision of this By-law, the provisions in this Section shall apply to those lands denoted by the symbol \*308 on the Schedule to this By-law. All other provisions of this Bylaw, unless specifically modified/amended by this Section, continue to apply to the lands subject to this Section.

**7.308.1 Zone Standards**

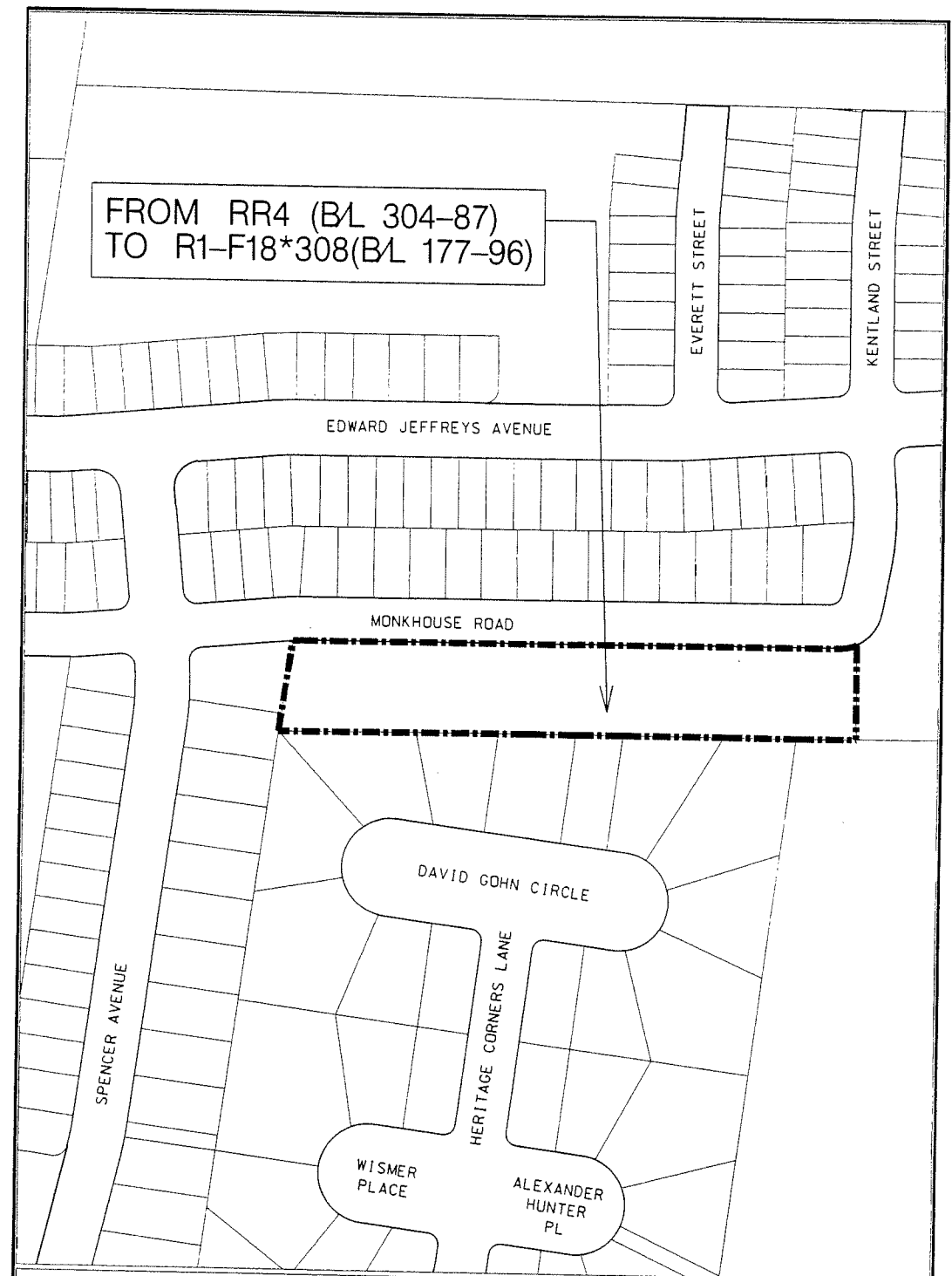
The following specific Zone Standards apply:

- a) Minimum required *front yard* - 4.3 metres
- b) Minimum required *rear yard* - 15 metres
- c) Minimum required *interior side yard* - 1.8 metres
- d) Maximum *height* – 6.5 metres
- e) Minimum landscaping strip adjacent to the rear lot line – 3.0 metres

**7.308.2 Special Site Provisions**

The following additional provisions apply:

- a) The wall of a dwelling shall be setback no further than 4.5 metres from the front lot line.
  - b) The wall of an attached private garage that contains the opening for motor vehicle access shall be setback no further than 5.8 metres from the front lot line.
  - c) Detached private garages are not permitted.
2. All other provisions of By-law 177-96, as amended, not inconsistent with the provisions of this by-law shall continue to apply.”



DEVELOPMENT SERVICES COMMISSION

## A BY-LAW TO AMEND BY-LAW 177-96



BOUNDARY OF AREA COVERED BY THIS BY-LAW

☐ R1 RESIDENTIAL ONE

☐ RR4 RURAL RESIDENTIAL FOUR

☐ \*No. EXCEPTION SECTION NUMBER

THIS IS SCHEDULE 'A' TO BY-LAW .....  
PASSED THIS ..... DAY .....

.....MAYOR

.....CLERK

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SCALE 1: 2000