

APPENDIX B

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OFFICIAL PLAN
of the
TOWN OF MARKHAM PLANNING AREA
AMENDMENT NO.XXX

To amend the Official Plan (Revised 1987) as amended, to incorporate Amendment No. 9 to Secondary Plan PD 3-1 for the Thornhill Planning District (Planning District Number 1)

(THORNHILL YONGE STREET STUDY)

(MAY 2006)

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OFFICIAL PLAN
of the
MARKHAM PLANNING AREA
AMENDMENT NO. XXX

To amend the Official Plan (Revised 1987) as amended, to incorporate Amendment No. 9 to Secondary Plan PD 3.1 for the Thornhill Planning District (Planning District No. 1)

This Official Plan Amendment was adopted by the Corporation of the Town of Markham, by By-law No. _____ - _____ in accordance with the Planning Act, R.S.O. 1990, c.P.13, as amended, on the _____ day of _____, 1999.

Mayor

Town Clerk

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THE CORPORATION OF THE TOWN OF MARKHAM

BY-LAW NO. _____

Being a by-law to adopt Amendment No. XXX. To the Town of Markham Official Plan (Revised 1987) as amended.

THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM IN ACCORDANCE WITH THE PROVISIONS OF THE PLANNING ACT, R.S.O. 1990 HEREBY ENACTS AS FOLLOWS:

1. THAT Amendment No. XXX to the Town of Markham Official Plan (Revised 1987) as amended, attached hereto, is hereby adopted.
2. THAT this by-law shall come into force and take effect on the date of the final passing thereof.

READ A FIRST, SECOND AND THIRD TIME AND PASSED THIS _____ DAY OF _____, 2006.

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PART I – INTRODUCTION

(This is not an operative part of Official Plan Amendment No. XXX)

PART I - INTRODUCTION

1. GENERAL

- 1.1** PART 1 – INTRODUCTION , is included for information purposes and is not operative part of this Official Plan Amendment.

PART II – THE AMENDMENT, constitutes Amendment No. XXX to the Official Plan (Revised 1987) as amended, including Schedules ‘A’ and ‘B’ attached hereto, and is required to enact Amendment No. 9 to Secondary Plan PD 3-1 for the Thornhill Planning District (Planning District No. 1). Part II is an operative part of the Official Plan Amendment.

PART III – THE SECONDARY PLAN AMENDMENT including Schedule ‘C’ attached thereto, constitutes Amendment No. 9 to the Secondary Plan PD 3-1 for the Thornhill Planning District (Planning District No. 1). Part III is an operative part of this Official Plan Amendment.

2.0 LOCATION

This Official Plan Amendment and Secondary Plan Amendment applies to properties fronting on Yonge Street, located between the south east corner of Yonge Street and Elgin Street in the south to the property located at the north east corner of Yonge Street and Robert West Lane, as set out in Schedule ‘C’ to this Amendment.

3.0 PURPOSE

The purpose of this amendment is to incorporate the recommendations for new land use policies and urban design guidelines set out in the Thornhill Yonge Street Study 2005, into the Markham Official Plan (Revised 1987) as amended, and the Thornhill Secondary Plan (PD 3-1).

4.0 BASIS

This Official Plan Amendment is a Town-initiated amendment intended to implement the land use and urban design recommendations of the Thornhill Yonge Street Study. This Amendment is based on the vision set out in the Thornhill Yonge Street Study, 2005, which is to create a vibrant, mixed-use “main street” on the section of Yonge Street that lies adjacent to and within the historic Village of Thornhill.

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The policies established in this Amendment build upon established planning principles, and municipal, regional and community goals in order to facilitate:

- a predominance of at grade, street oriented commercial/retail uses along the Yonge Street frontage and where John Street and Elgin Street intersect with Yonge Street;
- an attractive, pedestrian-friendly streetscape along Yonge Street;
- transit supportive mid-rise intensification at key locations within the Thornhill Yonge Street Corridor;
- protection and enhancement of heritage resources and their environs through:
 - new public parks, plazas and places for meeting and gathering along the side streets and at established destinations within the Plan Area;
 - building height and massing transitions to ensure compatible fit with existing neighbourhood fabric and to respond to the location and importance of heritage assets along the Corridor; and,
 - small-scale infill projects to complement existing two and three storey developments.

This Official Plan Amendment represents a key component in the implementation strategy for the renewal of the Yonge Street Corridor in the Village of Thornhill, and its revitalization as a vibrant focal point for the surrounding Heritage Conservation District.

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PART II – THE AMENDMENT

(This is an operative part of Official Plan Amendment No. XXX)

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PART II – THE AMENDMENT

1.0 THE AMENDMENT

- 1.1 Section 1.1.2 of Part II of the Official Plan (Revised 1987) as amended, is hereby amended by the addition of the number XXX to the list of amendments, to be placed in numerical order including any required grammatical and punctuation changes.
- 1.2 Section 1.1.3 (c) of Part II of the Official Plan (Revised 1987) as amended, is hereby amended by the addition of the number XXX to the list of amendments, including any required grammatical and punctuation changes in the bullet item dealing with the Thornhill Secondary Plan (PD 3-1).
- 1.3 Section 9.2.25 of Part II of the Official Plan (Revised 1987) as amended, is hereby amended by the addition of the number XXX to the list of amendments, including any required grammatical and punctuation changes.
- 1.4 That Schedule 'A' - Land Use is hereby amended as shown in Schedule 'A' attached hereto.
- 1.5 That Schedule 'H' - Commercial/Industrial Categories is hereby amended as shown in Schedule 'B' attached hereto.

2.0 IMPLEMENTATION AND INTERPRETATION

The provisions of the Official Plan (Revised 1987) as amended, regarding the implementation and interpretation of the Plan, shall apply in regard to this Amendment, except as specifically provided for in this Amendment.

This Amendment shall be implemented by an amendment to the Zoning By-law, site plan approval in conformity with the provisions of this Amendment as well as the Thornhill Heritage Conservation District Plan.

This Amendment to the Official Plan (Revised 1987) as amended, is exempt from the approval by the Region of York. Following adoption, notice of Council's decision will be given in accordance with the Planning Act, and the decision of Council is final, if a notice of appeal is not received before or on the last day for filing an appeal.

Prior to Council's decisions becoming final, this Amendment may be modified to incorporate technical amendments to the text and schedule(s). Technical amendments are those minor

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changes that do not affect the policy or intent of the Amendment. For such technical amendments, the notice provisions of Section 7.13 (c) of the Official Plan (Revised, 1987) as amended, shall not apply.

YONGE STREET

DUDLEY AVENUE

ELGIN STREET

FROM URBAN RESIDENTIAL
TO COMMERCIAL

OFFICIAL PLAN AMENDMENT
TO SCHEDULE 'A' - LAND USE
TOWN OF MARKHAM OFFICIAL PLAN (REVISED 1987) AS AMENDED

 BOUNDARY OF AREA COVERED BY THIS AMENDMENT

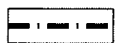
YONGE STREET

DUDLEY AVENUE

ADD COMMUNITY AMENITY AREA

ELGIN STREET

OFFICIAL PLAN AMENDMENT
TO SCHEDULE 'H' – COMMERCIAL/INDUSTRIAL CATEGORIES
TOWN OF MARKHAM OFFICIAL PLAN (REVISED 1987) AS AMENDED



BOUNDARY OF AREA COVERED BY THIS AMENDMENT



DEVELOPMENT SERVICES COMMISSION

SCHEDULE 'B' TO OPA No. XXX

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CHECKED BY: DD

SCALE:
DATE: 160306

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PART III – THE SECONDARY PLAN AMENDMENT
(This is an operative part of Official Plan Amendment No. XXX)

PART III - THE AMENDMENT TO THE THORNHILL SECONDARY PLAN (PD 3-1)

1.0 THE SECONDARY PLAN AMENDMENT

The following text and map, identified as Schedule 'C' Land Use Plan, attached hereto, constitute Amendment No. 9 to the Thornhill Secondary Plan (PD 3-1) - Official Plan Amendment No. 1 to the Official Plan of the Town of Markham (Revised 1987), as amended.

- Item 1:** The designations shown on Schedule 'C' to this Amendment hereby replace the designations of the Thornhill Secondary Plan (PD 3-1) Schedule 'AA' – Land Use Plan .
- Item 2:** Section 6.4.2 is hereby amended by deleting the word “and” after “6.4.5” and adding the phrase “and 12.3.2” after “6.4.6”
- Item 3:** The Thornhill Secondary Plan (PD 3-1) is hereby amended by the addition of a new Section 12.3 The Thornhill Yonge Street Corridor, which shall read as follows:

"12.3 THE THORNHILL YONGE STREET CORRIDOR AREA

12.3.1 VISION

The Thornhill Yonge Street Corridor Area is intended to become a vibrant, mixed use area. It will be developed as a higher order transit corridor. Intensification and redevelopment will be promoted at key locations within the corridor in order to bring vitality to the area, to promote residential, commercial and employment growth, support transit use and to enhance the urban design quality of the corridor by using redevelopment opportunities to repair existing gaps in the street wall and provide for rear yard, rather than front yard parking.

At the same time, the Thornhill Yonge Street Corridor Area overlaps part of the Thornhill Heritage Conservation District, and while intensification opportunities exist within the Heritage Conservation District, proposals must be very carefully conceived to ensure that the resulting development is compatible with, and enhances the heritage character of the area. To assist in achieving this goal, specific land use policies applying to potential redevelopment sites within the Heritage Conservation District, as well as detailed urban design policies have been incorporated into the Secondary Plan to guide new development within the Thornhill Yonge Street Corridor Area.

The vision for the Thornhill Yonge Street Corridor Area is characterized by:

- a) A vibrant and mixed use main street;
- b) A predominance of at grade commercial/retail uses along Yonge Street;

- c) An attractive, high quality, pedestrian friendly, transit supportive streetscape;
- d) Differing scales of development including transit supportive mid-rise intensification and smaller scale infill projects to complement existing heritage assets and adjacent residential neighbourhoods;
- e) Protection for, and enhancement of heritage resources and their environs;
- f) New public parks and plazas and enhanced connections to the surrounding open space system; and,
- g) Organized access and parking to the rear of commercial, mixed use properties.

12.3.2 GENERAL LAND USE POLICIES

Notwithstanding the provisions of Section 3.4.6.2 of the Official Plan (Revised 1987) as amended, and pursuant to the provisions of Sections 6.4.2 of this Secondary Plan, the following general policies shall apply to the Community Amenity Area - Thornhill Yonge Street Corridor and the Heritage Main Street I designations:

12.3.2.1 Lands may be zoned to permit the following uses:

- a) A full range of multiple dwelling types including townhouses, stacked townhouses and apartments;
- b) Retail uses;
- c) Service uses;
- d) Offices;
- e) Banks and financial institutions;
- f) Health and fitness uses;
- g) Institutional facilities including community facilities and government services;
- h) Day care centres;
- i) Commercial schools; and,
- j) Restaurants.

12.3.2.2 For all new development, permitted at grade uses along the frontages of Yonge Street, John and Arnold Streets and all parks/plazas frontages of sites shall be limited to:

- a) Retail uses;
- b) Restaurants;
- c) Service uses;
- d) Offices;
- e) Banks and financial institutions;

- f) Sports, health and fitness recreational uses; and,
- g) Institutional facilities including community facilities and government services.

12.3.2.3 The following new uses shall be prohibited:

- a) Retail stores and restaurants requiring individual premises above 1,000 m²;
- b) Free-standing, single storey buildings containing retail uses, restaurants, bank and financial institutions, health and fitness uses, or commercial schools;
- c) Drive-through facilities of any kind;
- d) Gas bars/service stations, either stand alone or associated with any permitted use; and,
- e) Any use that requires outdoor storage, excluding outdoor parking areas and small scale sidewalk display areas for retail uses.

12.3.3 COMMUNITY AMENITY AREA - THORNHILL YONGE STREET CORRIDOR

12.3.3.1 The "Community Amenity Area - Thornhill Yonge Street Corridor" designation applies to lands located near the Yonge Street/Elgin Street intersection. Within the "Community Amenity Area - Thornhill Yonge Street Corridor" designation, new, mid-rise, mixed use development is encouraged.

12.3.3.2 The land use policies of Section 12.3.2 of the Secondary Plan shall apply

12.3.3.3 The maximum building height within the "Community Amenity Area - Thornhill Yonge Street Corridor" designation shall be the lesser of 6 storeys, or 21.0 metres, subject to the following additional policies:

- a) In all new development, the ground floor height shall be a minimum of 5.0 metres;
- b) The maximum permitted building height shall only be permitted adjacent to Yonge Street. Away from the Yonge Street frontage, building heights will transition from the maximum height to the general heights of the surrounding residential fabric, in accordance with subsection 12.3.3.3 c); and,
- c) Appropriate building heights and height transition regulations will be established by the Town through the rezoning process, in conformity

with the policies of this Secondary Plan and consistent with the Council endorsed Thornhill Yonge Street Study (2005).

- 12.3.3.4 A minimum height of the greater of 2.5 storeys, or 9.0 metres, whichever is greater, is required for all new development;
- 12.3.3.5 The Town may consider, through review of a specific development proposal and zoning by-law amendment, a height bonus up to a maximum building height of 8 storeys or 27.5 metres, whichever is less, subject to the achievement of the following criteria, to the satisfaction of the Town:
 - a) Compatibility with adjacent land uses;
 - b) Provision of on site, publicly accessible park or plaza space, consistent with the Thornhill Yonge Street Study 2005 and Appendix A to this Plan;
 - c) The property owner agrees to undertake and/or fund improvements to the public realm consistent with the Thornhill Yonge Street Study 2005;
 - d) The property owner agrees to provide underground public parking to strengthen commercial uses within the corridor;
 - e) The property owner agrees to incorporate the Farmers' Market as an integral part of the redevelopment of the Farmers' Market property, located at the southeast quadrant of Elgin Street and Yonge Street, as it existed at the time of passing of this Official Plan Amendment; and,
 - f) Provision of publicly accessible rear lane parking areas, with vehicular and pedestrian cross connections to existing and future parking areas on adjoining properties; and,
 - g) Consistency with the urban design policies of Section 12.3.8 of this Plan, and the Urban Design Guidelines of the Council endorsed Thornhill Yonge Street Study, 2005 set out in Appendix B.
- 12.3.3.6 All new development within the "Community Amenity Area – Thornhill Yonge Street Corridor" designation shall be subject to site plan control, shall conform to the urban design policies of this Plan and shall be consistent with the provisions of the Council endorsed Thornhill Yonge Street Study (2005).

12.3.4 HERITAGE MAIN STREET I

- 12.3.4.1 The “Heritage Main Street I” designation applies to properties fronting Yonge Street within the boundaries of the Thornhill Heritage Conservation District, but which do not contain designated or listed heritage buildings. Within the “Heritage Main Street I” designation, new low and medium-rise, mixed use development is encouraged.
- 12.3.4.2 The land use policies of Section 12.3.2 of the Secondary Plan shall apply.
- 12.3.4.3 The maximum building height within the Heritage Main Street I designation shall be the lesser of 3 storeys or 10.5 metres, subject to the following additional policies:
 - a) In all new development, the ground floor height shall be a minimum of 4.0 metres;
 - b) The maximum permitted building height shall only be permitted adjacent to Yonge Street. Away from the Yonge Street frontage, building heights will transition from the maximum height to the heights of the surrounding residential fabric, in accordance with subsection 12.3.4.3 d);
 - c) On sites that abut or include a listed or designated heritage building, the height of new buildings adjacent to the heritage building shall transition down to one storey above the height of the heritage building; and,
 - d) Appropriate building heights and height transition regulations will be established by the Town through the rezoning process, in conformity with the policies of this Secondary Plan and consistent with the Council endorsed Thornhill Yonge Street Study (2005).
- 12.3.4.4 A minimum height of 2.5 storeys, or 9.0 metres, whichever is greater, is required for all new development;
- 12.3.4.5 The Town may consider, subject to a specific development proposal and an amendment to the zoning by-law, providing a height bonus up to a maximum building height of the lesser of 5 storeys, or 17.0 metres, subject to the achievement of the following criteria, to the satisfaction of the Town:
 - a) Compatibility with adjacent land uses;
 - b) Provision of on site, publicly accessible park or plaza space, consistent with the Thornhill Yonge Street Study 2005 and Appendix A to this Plan;

- c) The property owner agrees to undertake and/or fund improvements to the public realm consistent with the Thornhill Yonge Street Study 2005;
- d) The property owner agrees to provide underground public parking to strengthen commercial uses within the corridor;
- e) Provision of publicly accessible rear lane parking areas, with vehicular and pedestrian cross connections to existing and future parking areas on adjoining properties; and,
- f) Consistency with the urban design policies of Section 12.3.8 of this Plan, and the Urban Design Guidelines of the Thornhill Yonge Street Study, 2005. Set out in Appendix B.

12.3.4.6 All new development within the “Heritage Main Street I” designation shall be subject to site plan control, shall conform to the urban design policies of this Plan; shall conform with the provisions of the Thornhill-Markham Heritage Conservation District Plan (1986) and shall be consistent with the provisions of the Council endorsed Thornhill Yonge Street Study (2005).

12.3.5 HERITAGE MAIN STREET II

12.3.5.1 Lands designated “Heritage Main Street II” within the Thornhill Yonge Street Area shall be subject to Section 6.5 of the Thornhill Secondary Plan.

12.3.5.2 Notwithstanding Section 3.4.6.4 c) i and ii of the Official Plan (Revised 1987) as amended, and Sections 6.5.2 and 12.3.2.1 of the Thornhill Secondary Plan, the permitted uses on lands designed “Heritage Main Street II” are limited to:

- a) Retail uses;
- b) Service uses;
- c) Offices;
- d) Banks and financial institutions;
- e) Hotels and bed and breakfast inns;
- f) Institutional uses, including community facilities and government services compatible with and complementary to the planned function of the designation;
- g) Full service restaurants;
- h) Residential uses on upper floors, subject to ensuring that the planned function of the lands is maintained, that the location is appropriate and

that the application provisions of Section 2.12 of the Official Plan (Revised 1987) as amended, are met; and,

- i) Other similar uses consistent with the planned function and policies of the designation.

12.3.5.3 Notwithstanding Section 6.5.4 of the Thornhill Secondary Plan, on lands designated "Heritage Main Street II", the maximum height shall be two (2) storeys.

12.3.5.4 All development within the Heritage Main Street II designation shall be subject to site plan control, shall be consistent with the provisions of the Council endorsed Thornhill Yonge Street Study (2005) and shall conform to the provisions of the Thornhill - Markham Heritage Conservation District Plan (1986).

12.3.6 MEDIUM DENSITY HOUSING

12.3.6.1 Lands designated "Medium Density Housing" within the Thornhill Yonge Street Area shall be subject to Sections 5.1, 5.2, 5.3 and 5.6 of the Thornhill Secondary Plan (PD 3-1).

12.3.6.2 Any new development within the "Medium Density Housing" designation within the Thornhill Yonge Street Corridor Area shall be subject to site plan control, shall conform to the urban design policies of this Plan and shall be consistent with the provisions of the Council endorsed Thornhill Yonge Street Study (2005).

12.3.7 PARK AND OPEN SPACE POLICIES

12.3.7.1 It is the intent of this Plan that certain sites, as set out in Appendix A to this plan, accommodate parks and open space areas as part of any redevelopment proposal. The size, location and design of the required park/plaza component shall be to the satisfaction of the Town, in accordance with the urban design policies of the Thornhill Secondary Plan (PD 3-1) and the Town of Markham Official Plan (Revised 1987) as amended, and shall be consistent with the provisions of the Council endorsed Thornhill Yonge Street Study (2005).

12.3.7.3 In condominium developments the park/plaza features may remain in private ownership. In certain situations, the Town may accept these lands as fulfilling the public parkland dedication requirements of the Town if the all of the following conditions are met:

- a) The open space feature is designed and maintained to the standards of the Town;
- b) The open space feature is visible, open and accessible to the public at all times; and,
- c) The condominium corporation enters into an agreement with the Town to ensure that the previous conditions are met, to the satisfaction of the Town.

12.3.7.4 All new parks and plazas shall be subject to site plan control, shall conform to the urban design policies of this Plan and shall be consistent with the provisions of the Council endorsed Thornhill Yonge Street Study (2005). Further, where lands are also identified as being within the Thornhill-Markham Heritage Conservation District Plan (1986), new parks shall also conform to the provisions of the Thornhill-Markham Heritage Conservation District Plan (1986).

12.3.8 THORNHILL YONGE STREET CORRIDOR URBAN DESIGN POLICIES

12.3.8.1 All new development shall be subject to the site plan control provisions of the Planning Act, shall conform to the following urban design policies and shall be consistent with the Urban Design Guidelines established in the Council endorsed Thornhill Yonge Street Study (2005) set out in Appendix B. Further, where new development is identified as being within the Thornhill Heritage Conservation District Plan, the development shall also conform to the provisions of the Thornhill - Markham Heritage Conservation District Plan (1986).

12.3.8.2 The main pedestrian entrances and display windows of buildings will be oriented toward public streets in order to clearly define the public realm, and to create a consistent street wall and an attractive retail and commercial environment for pedestrians. The main pedestrian entrances and display windows of buildings will be sited to address public streets in the following order of priority:

- a) The Yonge Street frontage;
- b) The corner of Yonge Street and John and Arnold Streets or any Local Street ;
- c) The frontage of John and Arnold Streets ;
- d) The corner of John and Arnold Streets and any Local Street; and then,

e) The frontage of any Local Street.

12.3.8.3 Where permitted, all residential uses at ground level shall take their primary individual unit entrances from the street frontage. Residential uses above the ground floor may have common access through a shared entry lobby.

12.3.8.4 Buildings located at street corners are encouraged to include architectural features that enhance the visual prominence and identity of these important locations within the Plan Area. Corner building entrances are encouraged at corner building locations.

12.3.8.5 Buildings shall occupy a set percentage of the buildable street frontage, as follows:

- a) Buildings fronting Yonge Street shall occupy a minimum of 70 percent of the buildable street frontage; and,
- b) Buildings fronting John Street, Arnold Street or other Local Streets shall occupy a minimum of 50 percent of the buildable street frontage.

Buildable street frontage shall mean the horizontal distance measured from side lot line to side lot line, that is not encumbered by any required interior or exterior side yard requirement, or any natural or cultural feature that would otherwise preclude urban development.

12.3.8.6 Where proposed development exceeds 50 metres of continuous building frontage on Yonge Street, a pedestrian connection to the rear lot commercial parking area shall be required. Such connection may be privately owned, but must be accessible to the public at all times.

12.3.8.7 The Town shall require sufficient building setbacks from Yonge Street in the implementing zoning by-law to accommodate the following:

- a) A building setback of 1.8 metres or greater, up to a maximum of 5.2 metres, shall be required in the implementing Zoning By-law along the Yonge Street, Arnold Street and John Street frontages. Lands within these setbacks shall be used for landscaping, outdoor cafes and similar uses, in a manner consistent with the Streetscape Improvement Program identified within the Council endorsed Thornhill Yonge Street Study (2005).
- b) Setbacks from any Local Street right-of-way shall be generally consistent with existing development setbacks and shall be determined through the rezoning process. The required building setback shall be

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developed in a manner consistent with the Streetscape Improvement Program identified within the Council endorsed Thornhill Yonge Street Study (2005).

- 12.3.8.8 The provision of private landscaping and pedestrian-scaled lighting, when not provided in the public right-of-way, is required at the interface between new development and the Streetscape Zone; and between buildings and parking areas.
- 12.3.8.9 New development within properties designated “Community Amenity Area - Thornhill Yonge Street Corridor”; “Heritage Main Street I”; and, “Heritage Main Street II” must provide a landscaped buffer consisting of a wood fence to a height of 2 metres and tightly planted coniferous plant material where these properties abut the “Low Density Housing” and “Medium Density Housing” designations;
- 12.3.8.10 Commercial and residential parking shall be provided at the rates specified in the Zoning By-law. Above grade, structured parking is not permitted. Underground parking structures shall be encouraged. Surface parking lots are permitted subject to the following policies:
 - a) Surface parking lots shall be located internally and to the rear of the Yonge Street frontage of the property. Parking is not permitted between the edge of the public right-of-way and the building face on any public street;
 - b) Trees and other landscape features shall be provided to visually break up large expanses of surface parking and to screen the view of parking lots from public streets; and,
 - c) Parking facilities for bicycles should be provided in all developments.
- 12.3.8.11 Where new development is proposed, direct vehicular access onto Yonge Street shall be strictly discouraged. All driveway access points are considered part of the public realm, and shall be located to be consistent with the Council endorsed Thornhill Yonge Street Study (2005). Generally each block face should have no more than one point of access from John Street, Elgin Street or a Local Street to the block connecting to the internal private driveway system.
- 12.3.8.12 Private lanes and internal driveways will be important components of the overall circulation system. The level of connectivity, the design and configuration of these lanes and driveways will be determined by the Town at the time of site plan approval.

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- 12.3.8.13 Loading, garbage storage and other service areas shall not be visible from any public street or the abutting lower density residential community. Garbage receptacles/storage shall be provided within the building. Loading and other service areas located outside of the building shall be appropriately screened utilizing fencing or opaque landscaping, the design of which shall be determined by the Town at the time of site plan approval.

12.3.9 COMMUNITY IMPROVEMENT

- 12.3.9.1 The Thornhill Yonge Street Corridor shall be designated as a Community Improvement Project Area through an amending by-law, in accordance with Section 2.12 of the Official Plan (Revised 1987) as amended;
- 12.3.9.2 A Community Improvement Plan, consisting of a strategy to facilitate revitalization and streetscape improvements within the Thornhill Yonge Street Corridor, will be prepared. The strategy may include, but shall not be limited to provisions for expropriation, soil remediation, rehabilitation or remediation grants to property owners, direct investment by the Town for infrastructure and landscaping improvements, fee waivers, and property tax relief.”

2.0 IMPLEMENTATION AND INTERPRETATION

The provisions of the Official Plan (Revised 1987) as amended, regarding the implementation and interpretation of the Plan, shall apply in regard to this Amendment, except as specifically provided for in this Amendment.

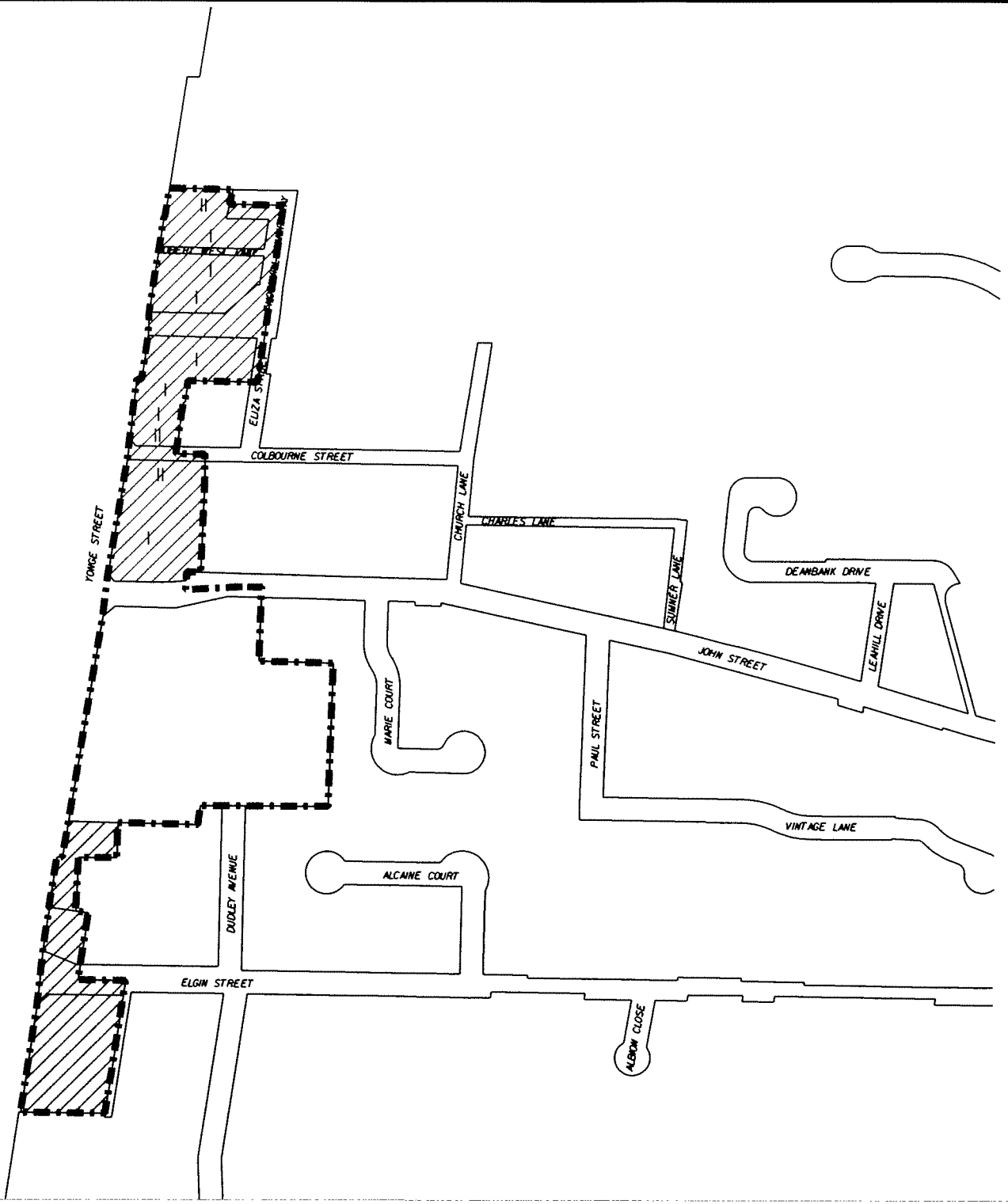
This Amendment shall be implemented by amendment to the Zoning By-law and site plan approval in conformity with the provisions of this Amendment

May 2006

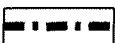

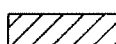
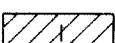
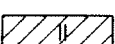
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PART IV – THE APPENDICES

(This is not an operative part of Official Plan Amendment No. XXX)



AMENDMENT TO SCHEDULE 'AA' -DETAILED LAND USE SECONDARY PLAN FOR THE THORNHILL PLANNING DISTRICT (PD3-1) AS AMENDED

-  BOUNDARY OF AREA COVERED BY THIS AMENDMENT
-  MEDIUM DENSITY HOUSING
-  COMMUNITY AMENITY AREA -THORNHILL YONGE ST. CORRIDOR
-  HERITAGE MAIN ST. I
-  HERITAGE MAIN STREET II